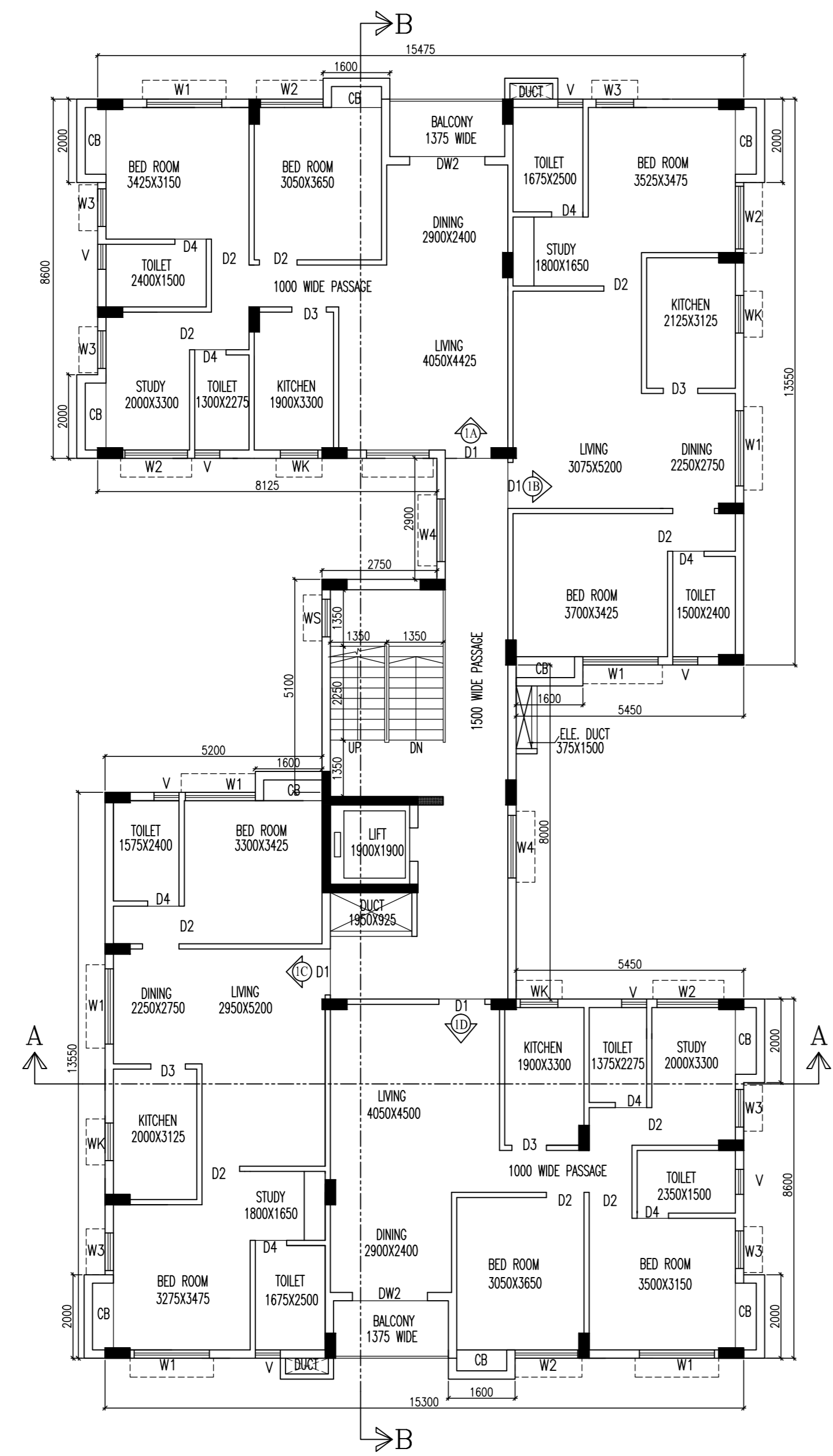
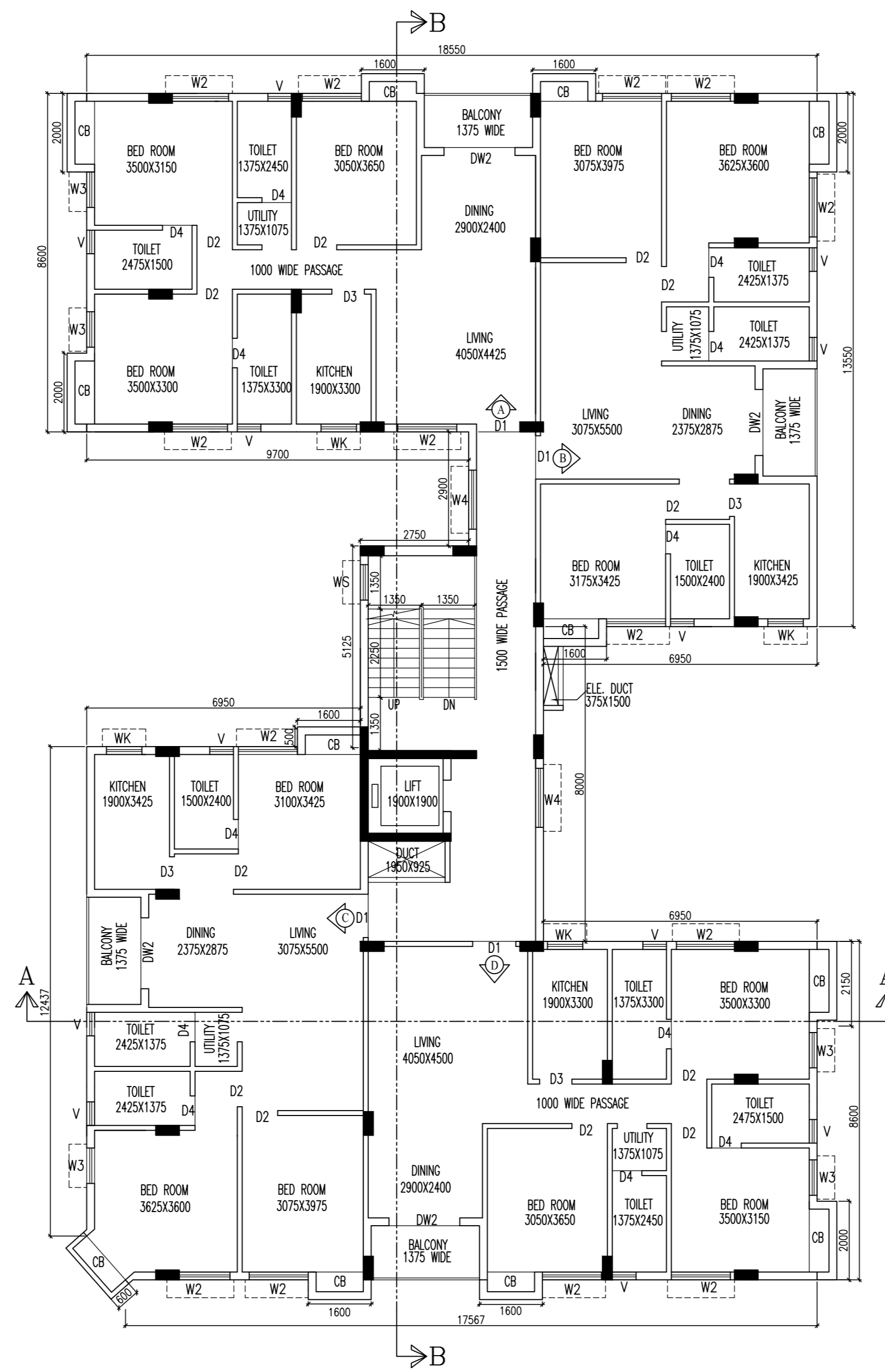


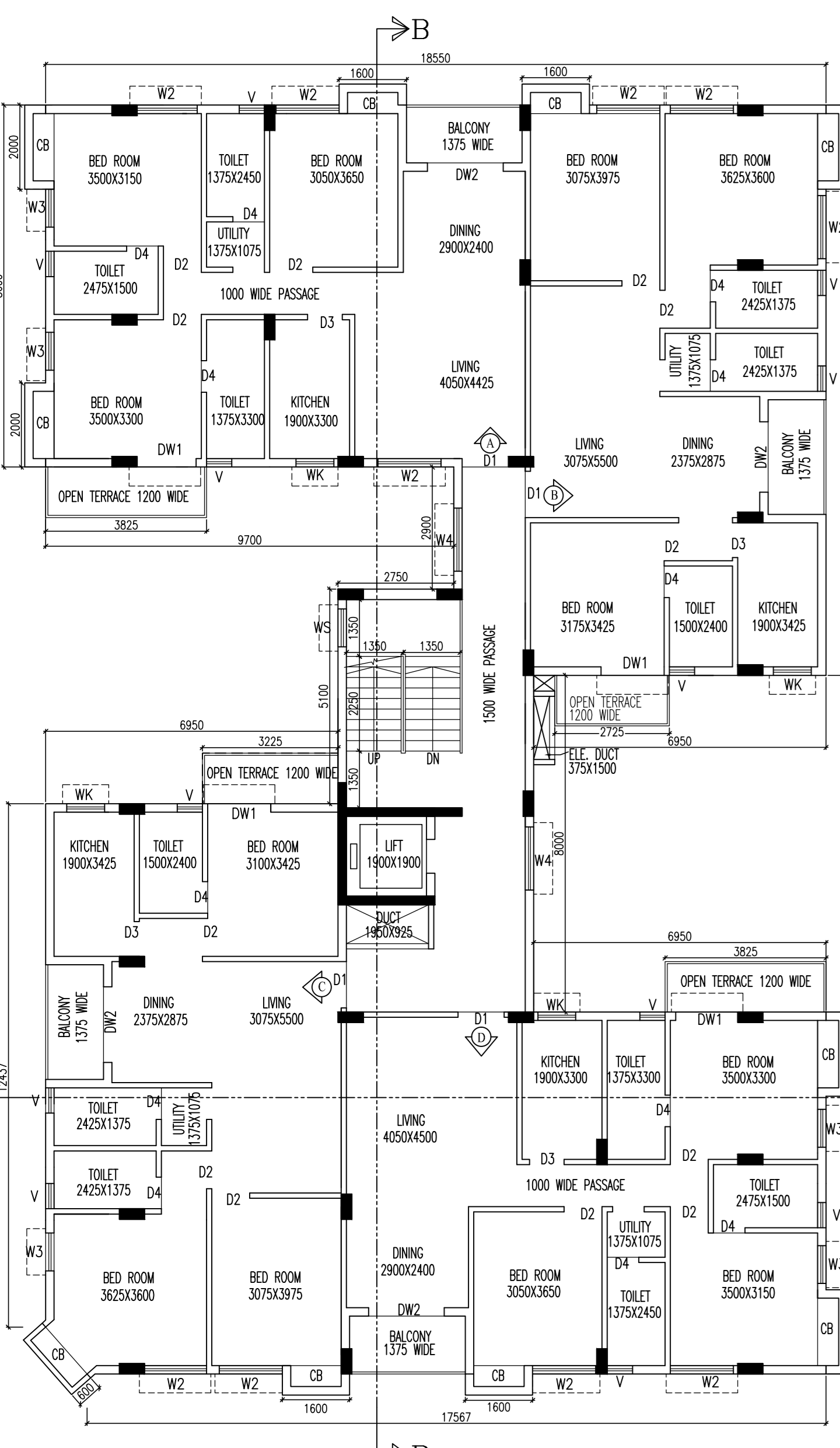
GROUND FLOOR PLAN
SCALE 1:100



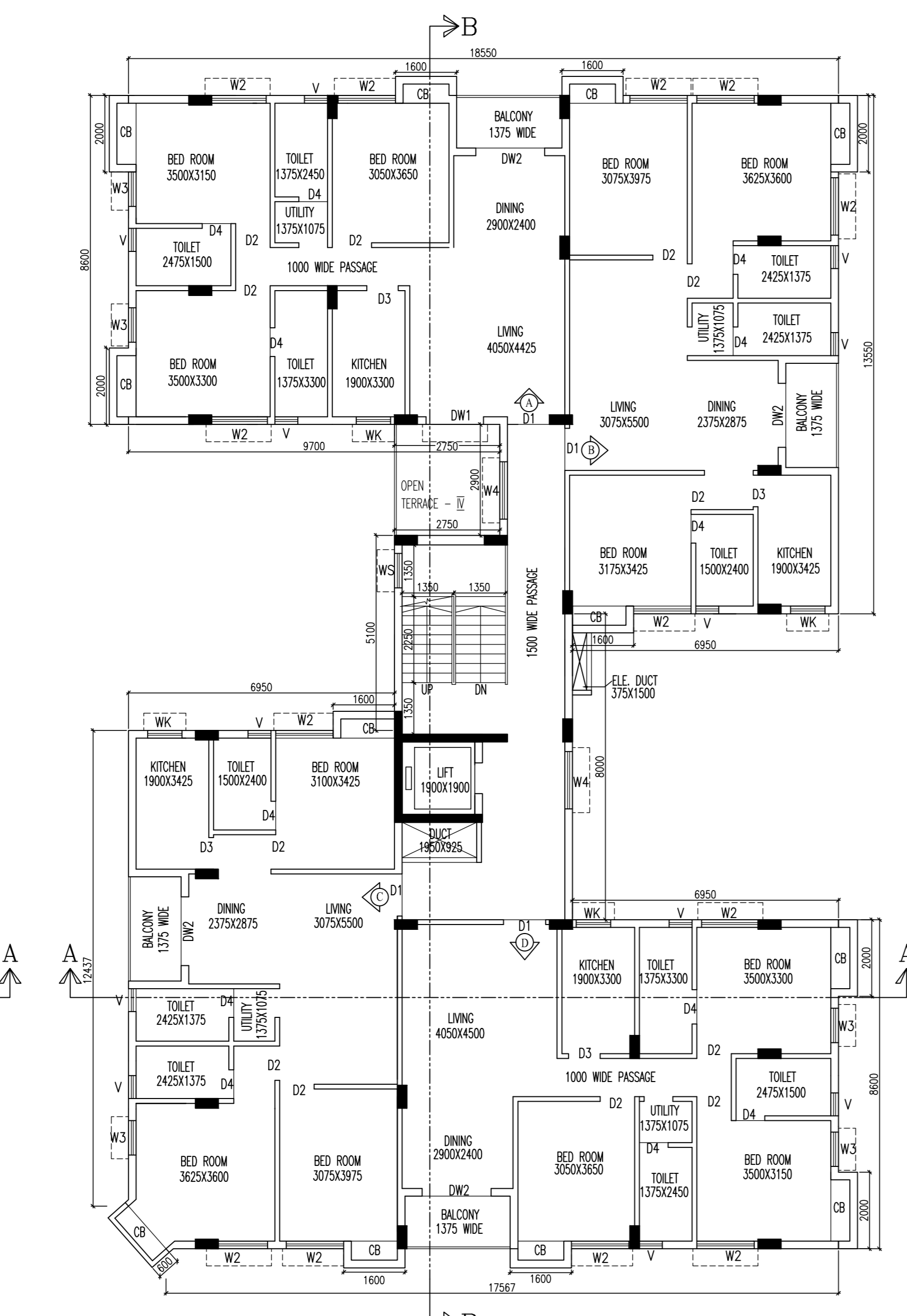
FIRST FLOOR PLAN
SCALE 1:100



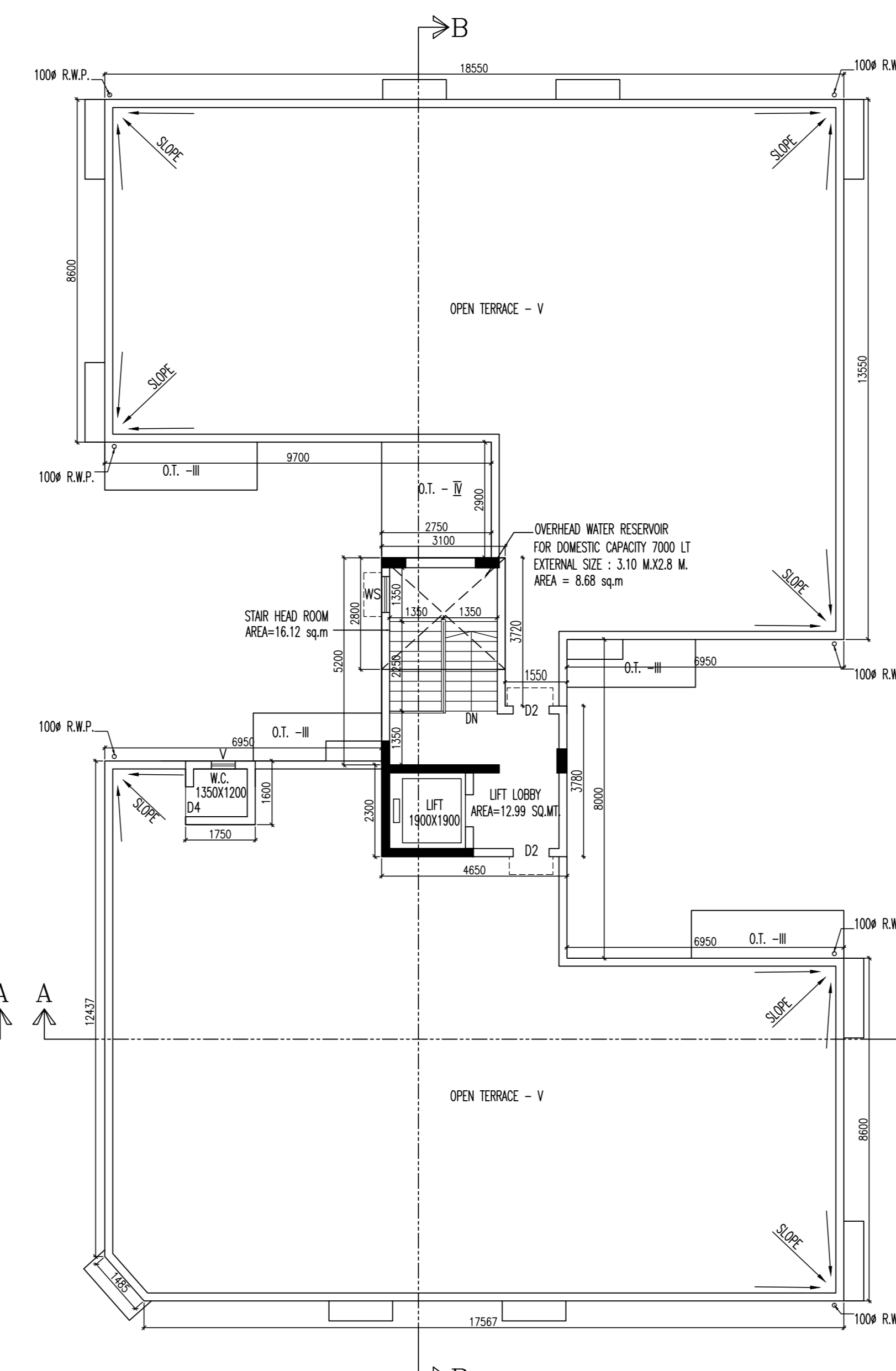
SECOND FLOOR PLAN
SCALE 1:100



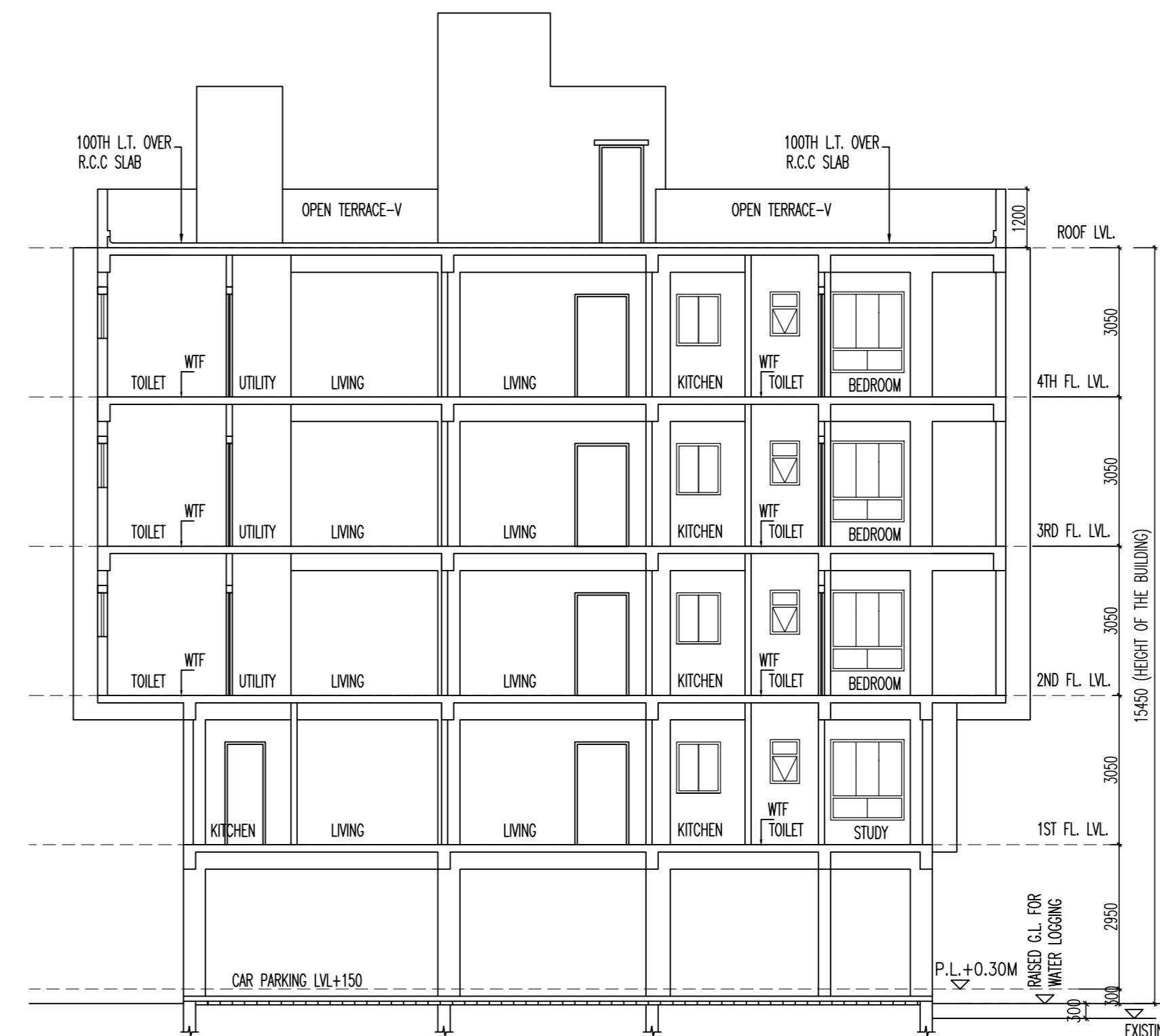
THIRD FLOOR PLAN
SCALE 1:100



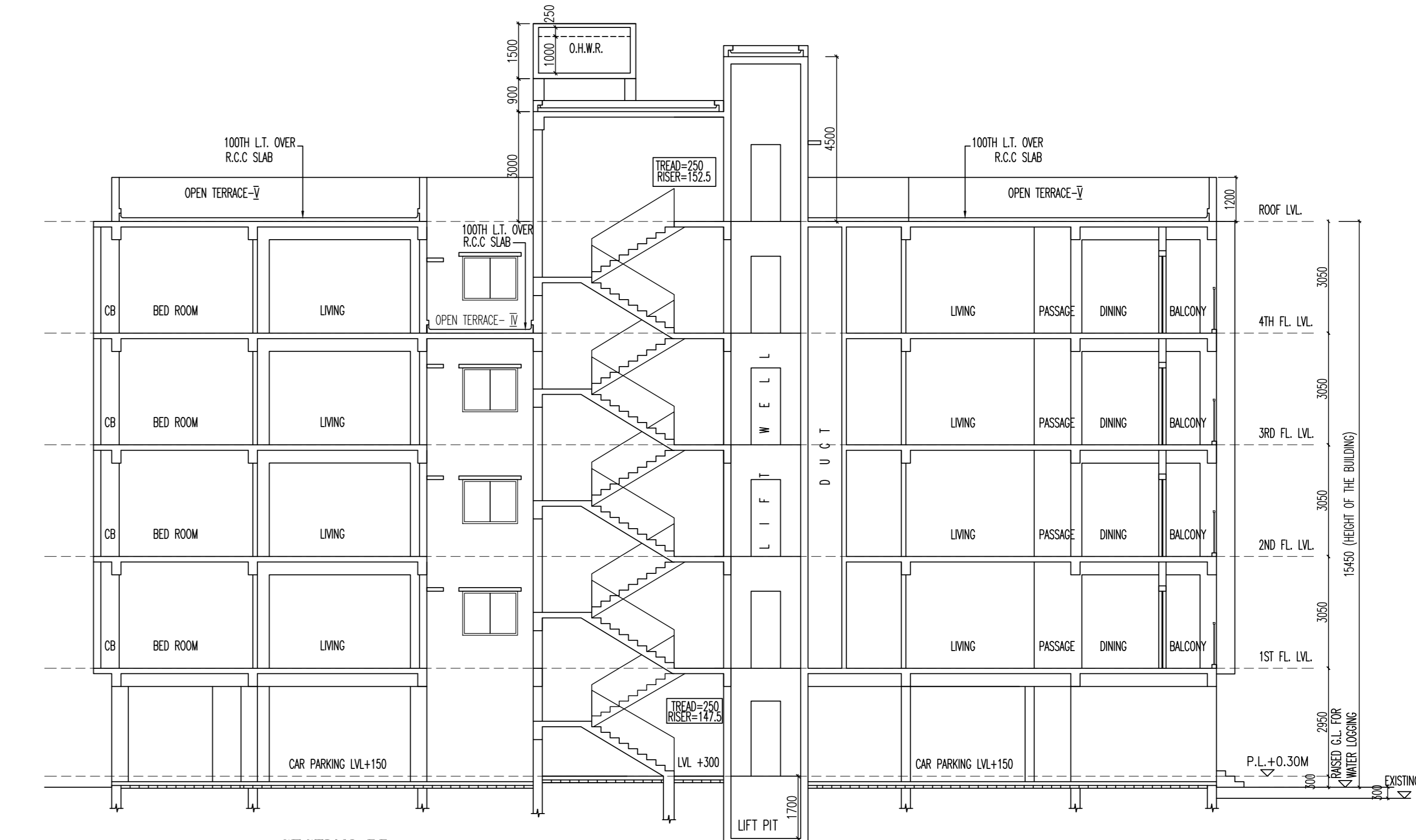
FOURTH FLOOR PLAN
SCALE 1:100



ROOF PLAN
SCALE 1:100



SECTION AA
SCALE 1:100



SECTION BB
SCALE 1:100



FRONT ELEVATION
SCALE 1:100

SPECIFICATIONS

- R.C.C. FRAME STRUCTURE WITH CONC. GRADE 1:1.5:3.
- 200 M.M. THK. EXTERNAL 125 & 75 M.M. THK. INTERNAL WALLS WITH 1:4 CEMENT MORTAR JOINTS.
- STEEL Z-SECTION WINDOWS.
- CAST-IN-SITU MOSAIC FLOORING.
- 1:6 & 1:4 CEMENT PLASTER ON INTERNAL WALLS AND CEILING RESPECTIVELY.
- WATER PROOFING TREATMENT.
- P.O.P. PLANNING ON INTERNAL WALLS & CEILING.
- ALL WARDROBE ARE 500 MM WIDE.

SCHEDULE OF DOORS & WINDOWS

TYPE	SILL	LINTEL	SIZE	TYPE	SILL	LINTEL	SIZE
D	-	2100	1500x2100	W1	450	2100	1800x1650
D1	-	2100	1100x2100	W2	450	2100	1500x1650
D2	-	2100	900x2100	W3	450	2100	1500x1650
D3	-	2100	850x2100	W4	900	2100	1500x1650
D4	-	2100	750x2100	W5	1050	2100	900x1650
DW1	-	2100	1500x2100	V	1200	2100	600x900
DW2	-	2100	1800x2100	WS	500	2100	900x2200
D5	-	2100	1800x2100				

CERTIFICATE OF OWNER

- I SHALL ENGAGE ARCHITECT AND E.S.E DURING CONSTRUCTION
- I SHALL FOLLOW THE INSTRUCTIONS OF ARCHITECT AND E.S.E DURING CONSTRUCTION OF THE BUILDING.
- I AM AUTHORITY WILL NOT BE RESPONSIBLE FOR STRUCTURE STABILITY OF BUILDING AND ADJOINING STRUCTURE.
- IF ANY SUBMITTED DOCUMENT IS FOUND TO BE FAKE THE K.M.C. AUTHORITY MAY REVOKE THE SANCTION PLAN.
- THE CONSTRUCTION OF WATER RESERVOIR AND SEPTIC TANK DECIDED UNDER THE GUIDANCE OF ARCHITECT & E.S.E

NAME OF OWNER
MR. RAKESH KUMAR SHYAMSUKHIA
DIR. NOBLE TREXIM PVT. LTD.
ADDRESS:
2C, MAHENDRA ROAD, KOLKATA - 700025
CONSULTED ATTORNEY M.S.L.K. ESTATE PVT. LTD.

CERTIFICATE OF STRUCTURAL ENGINEER

THE STRUCTURAL DESIGN OF BOTH FOUNDATION AND SUPERSTRUCTURE OF THE BUILDING HAVE BEEN MADE BY ME CONSIDERING ALL POSSIBLE LOADS INCLUDING THE SEISMIC LOAD AS PER M.B.O. OF INDIA AND CERTIFY THAT IT IS SAFE AND STABLE IN ALL RESPECT. SOIL INVESTIGATION REPORT HAS BEEN DONE BY ALOKE ROY (EMPANELLED NO-11/1) BA, MILAN PARK, KOLKATA - 700084. THE RECOMMENDATION OF SOIL REPORT HAS BEEN CONSIDERED DURING STRUCTURAL CALCULATION.

NAME OF STRUCTURAL ENGINEER
SNEHASHISH SINHA
E.S.E. 1/77
ADDRESS:
SINHA & ASSOCIATES
157 BINODA BHAVÉ ROAD, KOLKATA 700038

CERTIFICATE OF ARCHITECT

THE L.B.A. HAS CERTIFIED ON THE PLAN ITSELF WITH FULL RESPONSIBILITY THAT THE BUILDING PLAN HAS BEEN DRAWN UP AS PER PROVISION OF K.M.C. BLDG. RULES 2009, AS AMENDED FROM TIME TO TIME AND THAT THE SITE CONDITION INCLUDING THE WIDTH OF THE ADJOINING ROAD CONFORM WITH THE PLAN AND IT IS A BUILD ABLE SITE AND NOT A TANK OR A FILLED UP TANK.

NAME OF ARCHITECT
RAJ KUMAR AGARWAL
COUNCIL REGISTRATION NO. CA/94/17940
ADDRESS:
RAJ AGRAWAL & ASSOCIATES
88, ROYD STREET (2ND FLOOR), KOLKATA-16.

UNDESIGNED HAS INSPECTED THE SITE AND CARRIED OUT SOIL INVESTIGATION THEREIN. IT IS CERTIFIED THAT THE EXISTING SOIL OF THE SITE IS ABLE TO CARRY THE LOAD DURING THE PROPOSED CONSTRUCTION AND THE FOUNDATION SYSTEM PROPOSED HEREIN IS SAFE & STABLE IN ALL RESPECT FROM GEO-TECHNICAL POINT OF VIEW.

NAME OF GEO-TECHNICAL ENGINEER
ALOK ROY
CLASS-I NO. - CT/1/11
ADDRESS:
BA, MILAN PARK
P.O. - GARIA
KOLKATA - 700084.

PART-B:

1. PROPOSED HEIGHT (IN MM.) = 15450.00

2. PROPOSED AREA CALCULATION :-

AT FLOOR	COVERED AREA	CUTOUT	GROSS AREA	STAIR & STAIR LOBBY	LIFT LOBBY	NET FLOOR AREA
GROUND	377.60	0.000	377.60	13.965	3.000	363.235
1ST FLOOR	369.625	5.414	364.211	13.965	3.000	347.846
2ND FLOOR	439.561	5.414	434.147	13.965	3.000	417.782
3RD FLOOR	439.561	5.414	434.147	13.965	3.000	417.782
4TH FLOOR	439.561	5.414	434.147	13.965	3.000	417.782
TOTAL	2065.808	21.656	2044.252	66.825	15.000	1962.43

3. TENEMENTS & CAR PARKING CALCULATION :-

MARKED	TENEMENT SIZE	PROPORTIONAL AREA TO BE ADDED	ACTUAL TENEMENT AREA	NO. OF TENEMENT	REQUIRED CAR PARKING
IA	85.03	12.64	97.68	1	75*100 = 4
IB	79.02	11.50	87.52	1	75*100 = 4
IC	72.63	10.80	83.43	1	75*100 = 4
ID	85.68	12.74	98.42	1	CAR-2
A	98.58	14.66	113.24	3	100*200 = 12
B	96.35	14.33	110.67	3	CAR-12
C	95.80	14.33	110.12	3	CAR-12
D	98.58	14.66	113.24	3	CAR-12
TOTAL				16	14 NOS.

4. PROVIDED CAR PARKING

FLOOR MARKED	COVERED AREA	CARPET AREA	REQUIRED CAR PARKING
GROUND FLOOR	28.322	23.595	NOT REQUIRED
TOTAL NOS. OF CAR PARKING REQUIRED			14 NOS.
4. PROVIDED CAR PARKING			22 NOS.

5. PERMISSIBLE CAR PARKING AREA :- (17*25) = 425.00 SQM

6. PROVIDED CAR PARKING AREA :- 307.52 SQM

7. STAIR HEAD ROOM AREA :- 16.12 SQM

8. LIFT LOBBY AREA AT ROOF :- 12.99 SQM

9. OVER HEAD TANK AREA :- 8.68 SQM

10. W.C. AT TERRACE :- 2.80 SQM

11. TERRACE AREA :- 463.855 SQM

12. CUPBOARD AREA :- 40.17 SQM

13. OTHER AREA ONLY FOR FEES :- 80.76 SQM

14. RELAXATION OF AUTHORITY, IF ANY :-

DIGITAL OF SIGN OF A.E. **DIGITAL OF SIGN OF E.E.**

B.P.NO.-2022090038 DATED-06/07/2022
VALID UP TO-05/07/2027

TITLE
1ST, 2ND, 3RD, 4TH FLOOR PLAN, ROOF PLAN,
FRONT ELEVATION, SECTION AA & SECTION BB

PROJECT
PROPOSED G+IV (15.45 MT.) STORED RESIDENTIAL BUILDING AT PRE. NO. - 4, CHANDRAMATH CHATTERJEE STREET, WARD NO.-71, BOBROUGH-IX, P.O. & P.S.- BHAWANIPUR, KOLKATA-700025. UNDER SECTION 383A OF K.M.C. BUILDING RULE 2009 & K.M.C. ACT 1980.

SCALE
1:100 ARCHITECT

RAJ AGRAWAL & ASSOCIATES
88, ROYD STREET, CALCUTTA-16